

## **SUMMARY - 1130 S. HOPE ENTITLEMENT REQUEST**

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1. **Vesting Conditional Use Permit - CUP** - Code Section from which relief is requested: **12.24 W.24. (USE)** Code Section which authorizes relief: **12.24 T3b and 12.24 W.24**

A vesting CUP to allow use of a 44 guest room hotel located within 500 ft of residential uses in the [Q]R5-4D-O zone.

2. **CUB for the Sale of Alcohol** - Code Section from which relief is requested: **n/a** Code Section which authorizes relief: **12.24 W.1**

A Conditional Use to permit the sale and dispensing of a full line of alcoholic beverages, including beer and wine, in the proposed restaurant and lobby/bar area on the ground floor, bar/lounge on the lower lever second floor, pool deck on the 9<sup>th</sup> floor and mini bars located in each guestroom and to allow consumption of alcohol throughout the hotel premises when purchased through either the restaurant, lobby/bar, bar/lounge or pool deck bar. The owner will manage all alcohol sales.

3. **Zone Variance for Parking, Loading Dock and Pool Deck** - Code Section from which relief is requested: **12.21 A4, 12.21.A4, 12.21 A4i3 and 12.21 A4i1. (Parking), 12.21 C6 (Loading Dock) and 12.14 A1b3 (Pool Deck).** Code Section which authorizes relief: **12.27**

Variance to 1) provide zero (0) off-street parking spaces in lieu of the required four (4) spaces, 2) allow a commercial use adjoining an alley without a loading space and, 3) permit use of an open air pool deck as a bar area on the 9<sup>th</sup> floor of the subject site. 

4. **ZAA Adjustment for Yard Setbacks** - Code Section from which relief is requested: **12.12 C1, 2 and 3.** Code Section which authorizes relief: **12.28**

For all floors, request to reduce the front yard setback to 0 in lieu of the required 15 ft, the rear yard setback to 0 in lieu of the required 20 ft and the side yard setbacks to 0 in lieu of the required 13 ft.

5. **Director's Determination for Increased FAR** - Code Section from which relief is requested: **Ordinance No. 164307** Code Section which authorizes relief: **14.5.7**

Director's Determination pursuant to LAMC Section 14.5.7 regarding transfer of floor area (TFAR) for projects located within the City Center Redevelopment Project Area to allow the project to exceed the 6 to 1 FAR by approximately 13,000 sq. ft. and to provide a public benefit payment in lieu of a transfer of floor area from a donor site.

6. **Project Permit Adjustment (PPA)** - Code Section from which relief is requested: **12.22 A.30 e** Code Section which authorizes relief: **11.5.7 E1**

A Project Permit Adjustment from Director to deviate from the Downtown Design Guide (Ordinance No. 181,557).

ZA 2012-3185

## SUMMARY OF ENTITLEMENTS TO BE REQUESTED

1. Conditional Use Permit - CUP – Code Section from which relief is requested: **12.24 W.24. (USE)** Code Section which authorizes relief: **12.24 T3b and 12.24 F**

A CUP to allow use of a 44 guest room hotel located within 500 ft of residential uses in the [Q]R5-4D-O zone.

2. Zone Variance for Parking, Loading Dock and Pool Deck - Code Section from which relief is requested: **12.21 A4, 12.21.A4, 12.21 A4i3 and 12.21 A4i1. (Parking), 12.21 C6 (Loading Dock) and 12.14 A1b3 (Pool Deck).** Code Section which authorizes relief: **12.27**

Variance to 1) provide zero (0) off-street parking spaces in lieu of the required four (4) spaces, 2) allow a commercial use adjoining an alley without a loading space and, 3) permit use of an open air pool deck as a bar area on the 9<sup>th</sup> floor of the subject site.

3. ZAA Adjustment for Yard Setbacks - Code Section from which relief is requested: **12.12 C1, 2 and 3.** Code Section which authorizes relief: **12.28**

For all floors, request to reduce the front yard setback to 0 in lieu of the required 15 ft, the rear yard setback to 0 in lieu of the required 20 ft and the side yard setbacks to 0 in lieu of the required 13 ft.

4. Director's Determination for Increased FAR - Code Section from which relief is requested: **Ordinance No. 164307** Code Section which authorizes relief: **14.5.7**

Director's Determination pursuant to LAMC Section 14.5.7 regarding transfer of floor area (TFAR) for projects located within the City Center Redevelopment Project Area to allow the project to exceed the 6 to 1 FAR by approximately 12,724 to 13,460 sq. ft. and to provide a public benefit payment in lieu of a transfer of floor area from a donor site.

5. CUB for the Sale of Alcohol - Code Section from which relief is requested: **n/a** Code Section which authorizes relief: **12.24 W.1**

A Conditional Use to permit the sale and dispensing of a full line of alcoholic beverages, including beer and wine, in the proposed restaurant and lobby/bar area on the ground floor, bar/lounge on the lower level second floor, pool deck on the 9<sup>th</sup> floor and mini bars located in each guestroom and to allow consumption of alcohol throughout the hotel premises when purchased through either the restaurant, lobby/bar, bar/lounge or pool deck bar. The owner will manage all alcohol sales.

6. Project Permit Adjustment (PPA) - Code Section from which relief is requested: **12.22 A.30 e** Code Section which authorizes relief: **11.5.7 E1**

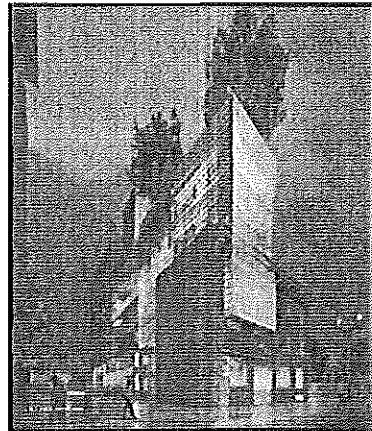
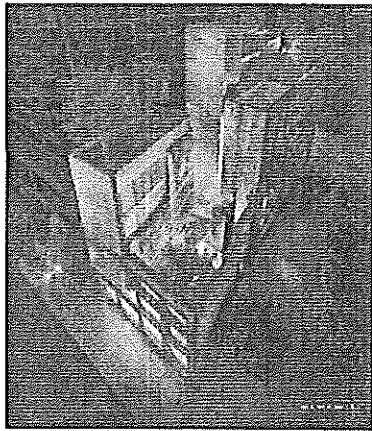
A Project Permit Adjustment from Director to deviate from the Downtown Design Guide (Ordinance No. 181,557).

**We would appreciate your support for this project!**

**Please show your support for this project by signing the next page and returning the form to:  
Urban Strategy Group/Urban Design Center, 1100 Hope St., Suite 103**

**You can also show your support by leaving your comments on our website: [www.1130Hope.com](http://www.1130Hope.com)**

**Our team would be happy to meet with your resident or business association to discuss the project.  
Please call 213-448-2198 with any questions.**



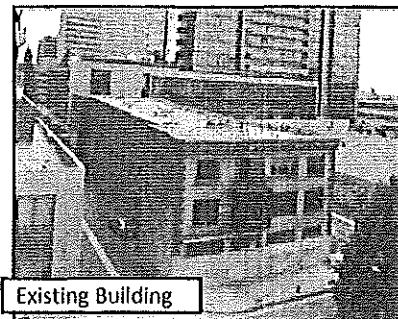
### 1130 S. HOPE STREET HOTEL

Introducing the proposed 1130 S. Hope St. Hotel, the renovation of a vacant 76 room, 3 story unreinforced masonry building into a 10 story, 44 guest room hotel featuring a large open air courtyard, restaurant, lobby bar, gallery space, conference/meeting room, and roof top bar with an open air pool deck.

#### **Project summary**

The new hotel at 1130 Hope St will be a boutique hotel in a rapidly expanding part of South Park.

- It will feature a dramatic open air courtyard as you enter. This courtyard will feature trees and landscaping, seating areas, and the remaining brick walls from the original building.
- The courtyard will lead to the lobby. A restaurant will be open to the public on the ground floor, as well as a bar/lounge in the basement.
- The second floor will feature a gallery/event space.
- Floor 3-8 will be hotel rooms, as well as a conference room on the 3<sup>rd</sup> floor.
- The 9<sup>th</sup> floor will be a bar with a pool deck.
- The 10<sup>th</sup> floor will feature 3 penthouse suites.
- The building will feature green building techniques, and will encourage guests to take public transportation and other alternative modes of transportation.



**How many stories will the new hotel have?**

10

**What will be the elevation of the building?**

119 feet

**What will be done with the existing building?**

Most of the interior will be demolished. However, the design preserves the complete shell of the previous building and builds within, around and upon it. Original walls wrap up parts of the new structure and cut through it in others.

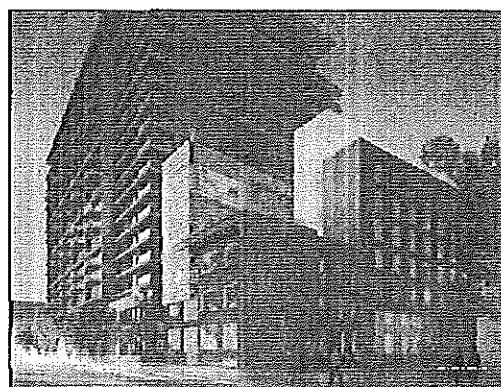
**Description of the existing building**

Year built: 1909

Stories: 3

Current Use: Abandoned and red tagged by the city for demolition

Previous Use: Apartment building



ZA 2012-3185

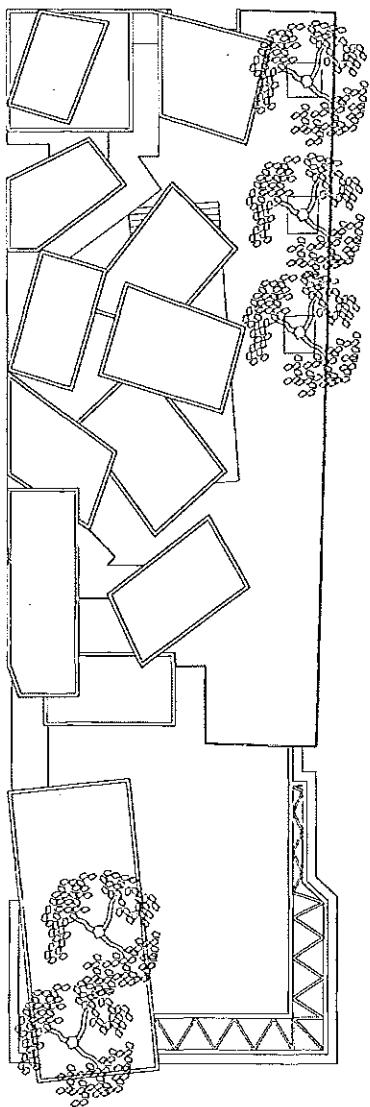
CDI 2013  
REV 1.3  
INSTITUTE  
INC.

1130 HOPE STREET  
marshall projects

1130 HOPE STREET LOS ANGELES, CA 90013  
949.596.1780 [www.marshallprojects.com](http://www.marshallprojects.com)

DATE: 01/15/2013  
PROJECT #:  
1130  
DRAWING #::  
ROOF LEVEL  
FLOOR PLAN  
A-1-11

ROOF LEVEL FLOOR PLAN [SCALE: 1/8" = 1'-0"	
BUILDING DEPT. NOTES CONT.	WALL LEGEND
CONSTRUCTION NOTES:	
<p>1. Hand sketch all dimensions with true structure. 2. All dimensions shown are to print /Arch Unit. 3. Refer to drawing set for details of material type, thickness, height, location, quantity and other information. 4. Foundation sizes and types are indicated. It is the responsibility of the contractor to verify these sizes and types with the engineer or architect. 5. On horizontal surface &amp; vertical other than walls, provide slope as indicated from stenciled corner points. 6. Where two locations are given in typical, refer to both. 7. Foundation sizes and types are indicated. It is the responsibility of the contractor to verify these sizes and types with the engineer or architect. 8. Notches must be reinforced with steel plates or equivalent. 9. Reinforcing bars must be placed in accordance with the code and good construction practices. 10. Where vertical columns are indicated, provide corner stiffeners to prevent buckling. 11. Column bases must be reinforced with steel plates or equivalent. 12. Column reinforcement must be placed in accordance with the code and good construction practices. 13. Columns must be braced to prevent lateral movement. 14. Column bases must be reinforced with steel plates or equivalent. 15. Column reinforcement must be placed in accordance with the code and good construction practices. 16. Column bases must be reinforced with steel plates or equivalent. 17. Column reinforcement must be placed in accordance with the code and good construction practices. 18. Column bases must be reinforced with steel plates or equivalent. 19. Column reinforcement must be placed in accordance with the code and good construction practices. 20. Column bases must be reinforced with steel plates or equivalent.</p>	
<p>Drawing No.: A-1-11</p> <p>Project No.: 1130</p>	



<p><b>1130 HOPE STREET</b></p> <p>1130 HOPE STREET LOS ANGELES, CA 90013</p> <p>DATE: 08/28/2012</p> <p>PROJECT #: 001</p> <p>DRAWING TITLE: PENTHOUSE LEVEL FLOOR PLAN</p> <p>SCALE: 1" = 1'-0"</p> <p>SECTION: A-A10</p> <p>REVISION: 1</p> <p>CONSTRUCTION NOTES:</p> <p>1. HOLD DRAFTY WALL CROSSHATCHES FOR FUTURE STRUCTURE. 2. ALL GROUTING IS TO BE PLAIN CEMENT. 3. REFER TO DRAWRUN AND FLOOR DETAILS OF PENTHOUSE FOR ALL WALL THICKNESSES, TILES, TILES, GROUT, ETC. 4. ALL EXPOSED CONCRETE SURFACES ARE TO BE SMOOTHED, CLEANED, AND TINTED IN ACCORDANCE WITH THE CONCRETE CONTRACTOR'S SPECIFICATIONS. 5. REFER TO ROOF CONTRACTOR FOR ROOFING AND ROOF SHEETING. 6. REFER TO ROOF CONTRACTOR FOR ROOFING AND ROOF SHEETING. 7. REFER TO ROOF CONTRACTOR FOR ROOFING AND ROOF SHEETING. 8. REFER TO ROOF CONTRACTOR FOR ROOFING AND ROOF SHEETING. 9. REFER TO ROOF CONTRACTOR FOR ROOFING AND ROOF SHEETING. 10. REFER TO ROOF CONTRACTOR FOR ROOFING AND ROOF SHEETING. 11. REFER TO ROOF CONTRACTOR FOR ROOFING AND ROOF SHEETING.</p>	<p>The floor plan shows a large open-plan living and dining area with a fireplace. It includes a kitchen, two bedrooms (one labeled 'SUITE 40' and another labeled 'SUITE 41'), and a bathroom. There are multiple balconies and terraces, some with outdoor furniture. The plan is oriented with a north arrow.</p>				
<p><b>BUILDING DEPT. NOTES CONT.</b></p> <p>1. All exterior materials and colors are to be determined by the architect and approved by the city before any work is performed. The architect's decision is final and binding. Any deviation from the architect's decision will require a change order.</p> <p>2. All exterior materials and colors are to be determined by the architect and approved by the city before any work is performed. The architect's decision is final and binding. Any deviation from the architect's decision will require a change order.</p> <p>3. All exterior materials and colors are to be determined by the architect and approved by the city before any work is performed. The architect's decision is final and binding. Any deviation from the architect's decision will require a change order.</p> <p>4. All exterior materials and colors are to be determined by the architect and approved by the city before any work is performed. The architect's decision is final and binding. Any deviation from the architect's decision will require a change order.</p> <p>5. All exterior materials and colors are to be determined by the architect and approved by the city before any work is performed. The architect's decision is final and binding. Any deviation from the architect's decision will require a change order.</p> <p>6. All exterior materials and colors are to be determined by the architect and approved by the city before any work is performed. The architect's decision is final and binding. Any deviation from the architect's decision will require a change order.</p> <p>7. All exterior materials and colors are to be determined by the architect and approved by the city before any work is performed. The architect's decision is final and binding. Any deviation from the architect's decision will require a change order.</p> <p>8. All exterior materials and colors are to be determined by the architect and approved by the city before any work is performed. The architect's decision is final and binding. Any deviation from the architect's decision will require a change order.</p> <p>9. All exterior materials and colors are to be determined by the architect and approved by the city before any work is performed. The architect's decision is final and binding. Any deviation from the architect's decision will require a change order.</p> <p>10. All exterior materials and colors are to be determined by the architect and approved by the city before any work is performed. The architect's decision is final and binding. Any deviation from the architect's decision will require a change order.</p> <p>11. All exterior materials and colors are to be determined by the architect and approved by the city before any work is performed. The architect's decision is final and binding. Any deviation from the architect's decision will require a change order.</p>	<p><b>PENTHOUSE LEVEL FLOOR PLAN</b></p> <p>1</p> <table border="1"> <thead> <tr> <th>WALL LEGEND</th> <th>Symbols</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> </tr> </tbody> </table>	WALL LEGEND	Symbols		
WALL LEGEND	Symbols				

Project Number:  
 04-1210  
 Date:  
 04/12/10  
 Drawn by:  
 MHS

1130 HOPE STREET

LOS ANGELES, CA 90015

1130 HOPE STREET

LOS ANGELES, CA 90015

morschall projects  
 1130 HOPE STREET, LOS ANGELES, CA 90015  
 Tel: 626.575.3554 Fax: 626.575.3555  
 E-mail: info@morschall.com  
 Web: www.morschall.com

DATE: 04/12/10  
 DRAWING NO.: 009  
 DRAWING TITLE: POOL DECK LEVEL FLOOR PLAN  
 SHEET SIZE: 1/8" = 1'-0"  
 Drawing No. A-1-09  
 Roof Deck / Pool Level A-1-09

POOL DECK LEVEL FLOOR PLAN [SCALE: 1/8" = 1'-0"]

SYMBOLS:

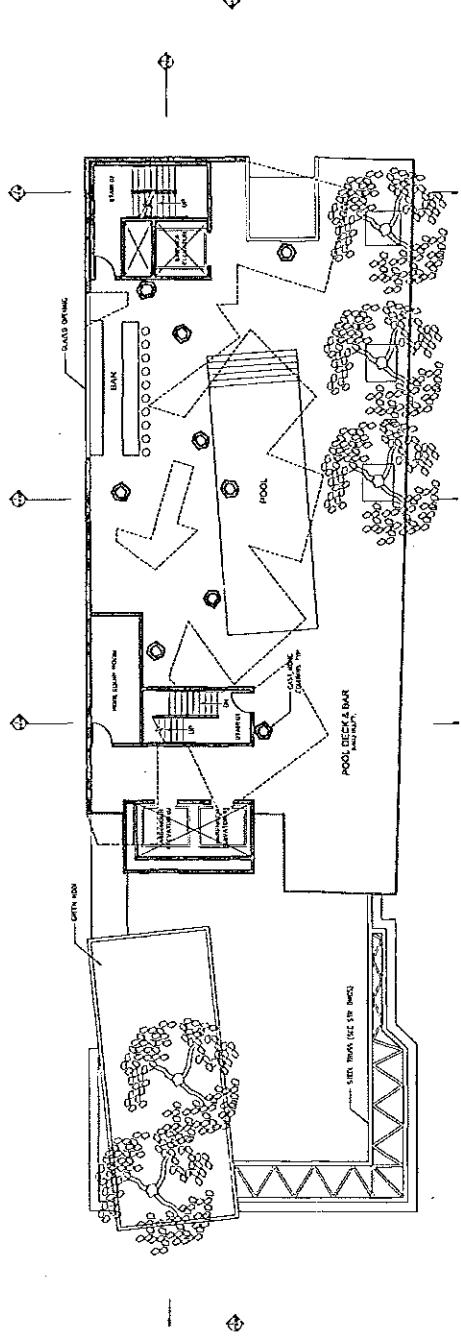


WALL LEGEND:

	PERIMETER WALLS
	INTERIOR WALLS
	DOORS
	WINDOWS
	OPENINGS

BUILDING DEPT. NOTES CONT.

1. ALL EXTERIOR SURFACES ARE TO FINISH FACE LUMENS  
 OTHERWISE SHOWN  
 2. REFER TO DIMENSION NOTES ON DRAWING FOR  
 NUMBER OF TURNS & TURN TYPE  
 3. ALL WALLS TO THE FURNACE CHIMNEY HAVE  
 METAL CHIMNEY LINERS.  
 4. REFER TO EXCAVATION NOTES FOR DETAILED  
 CHIMNEY LOCATION.  
 5. REFER TO ROOFING NOTES FOR DETAILED  
 ROOFING SYSTEM.  
 6. DRAIN PIPES LOCATED SMALL & THIN (1/2 IN.)  
 7. PROVIDE DRAINAGE IN HALLS/STUDIOS  
 PROVIDE DRAINAGE IN KITCHEN/BREAKFAST ROOM  
 PROVIDE DRAINAGE IN BATHROOMS



A-1-09

PROJECT  
1130 HOPE STREET

JOHN G. LUDWIG  
TOM H. COOK  
KAREN D. ROSEN  
JENNIFER

1130 HOPE STREET LOS ANGELES, CA 90013

marshill projects  
INC. © 1997

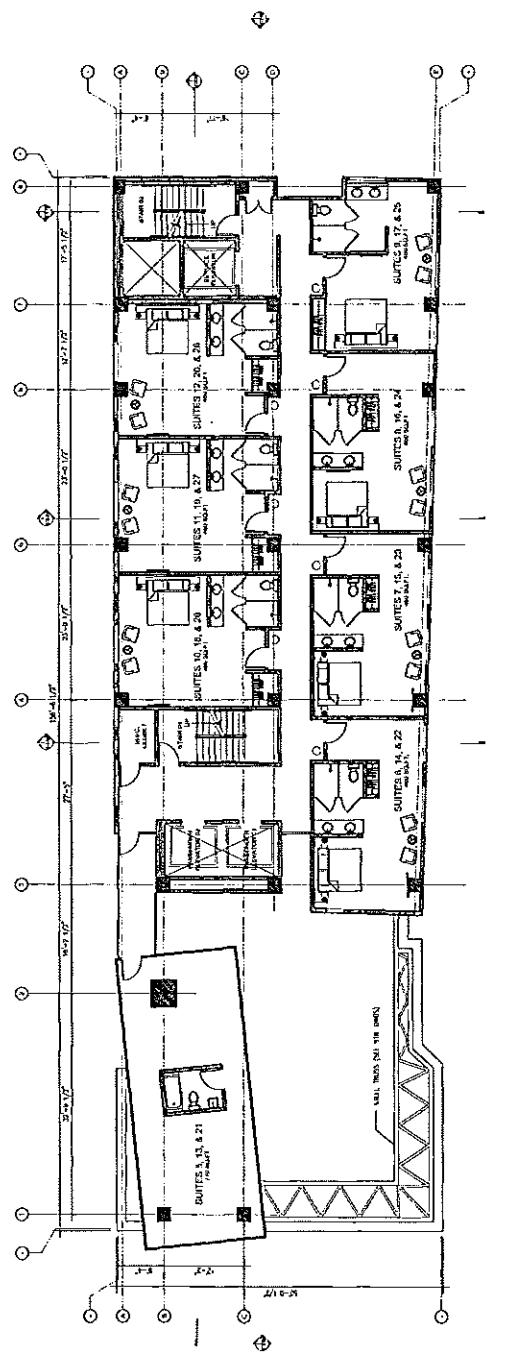
DATE DRAWN 12/10/97  
DRAWING NO. A-1-80  
PAGES 1 OF 1  
SHEET NO. 1 OF 1  
SCALE 1/8" = 1'-0"

A-1-80

BUILDING REFF. NOTES/CONT.		WALL LEGEND	SYMBOLS	CONSTRUCTION NOTES:
<p>1. Wall thicknesses of exterior and interior wall construction are given on exterior elevations. If no thickness is shown on an elevation, it is assumed to be the same as the wall thickness of the adjacent floor plan.</p> <p>2. All dimensions shown refer to finished floor levels.</p> <p>3. Refer to drawings and/or details of partitions, firewalls, columns, beams, etc., for further information.</p> <p>4. Dimensions indicated are to finished floor level. Firewalls, columns, beams, etc., are shown at their true locations. Typical sections and elevations show these locations.</p> <p>5. Actual locations of firewalls, columns, beams, etc., may differ from those shown in the drawings due to changes made in the design by the architect or engineer.</p> <p>6. Actual locations of firewalls, columns, beams, etc., may differ from those shown in the drawings due to changes made in the design by the architect or engineer.</p> <p>7. Actual locations of firewalls, columns, beams, etc., may differ from those shown in the drawings due to changes made in the design by the architect or engineer.</p>	<p>WALL CONSTRUCTION</p> <ul style="list-style-type: none"> <li><span style="color: red;">◆</span> EXTERIOR CONCRETE WALL</li> <li><span style="color: green;">◆</span> EXTERIOR METAL CLAD WALL</li> <li><span style="color: blue;">◆</span> EXTERIOR INSULATED METAL CLAD WALL</li> <li><span style="color: black;">◆</span> EXTERIOR INSULATED CONCRETE CLAD WALL</li> <li><span style="color: orange;">◆</span> EXTERIOR INSULATED METAL CLAD WALL</li> <li><span style="color: grey;">◆</span> EXTERIOR INSULATED CONCRETE CLAD WALL</li> <li><span style="color: cyan;">◆</span> EXTERIOR INSULATED METAL CLAD WALL</li> <li><span style="color: purple;">◆</span> EXTERIOR INSULATED CONCRETE CLAD WALL</li> <li><span style="color: brown;">◆</span> EXTERIOR INSULATED METAL CLAD WALL</li> <li><span style="color: pink;">◆</span> EXTERIOR INSULATED CONCRETE CLAD WALL</li> <li><span style="color: magenta;">◆</span> EXTERIOR INSULATED METAL CLAD WALL</li> <li><span style="color: yellow;">◆</span> EXTERIOR INSULATED CONCRETE CLAD WALL</li> <li><span style="color: black;">◆</span> EXTERIOR INSULATED CONCRETE CLAD WALL</li> <li><span style="color: green;">◆</span> EXTERIOR INSULATED METAL CLAD WALL</li> <li><span style="color: red;">◆</span> EXTERIOR INSULATED CONCRETE CLAD WALL</li> <li><span style="color: orange;">◆</span> EXTERIOR INSULATED METAL CLAD WALL</li> <li><span style="color: grey;">◆</span> EXTERIOR INSULATED CONCRETE CLAD WALL</li> <li><span style="color: cyan;">◆</span> EXTERIOR INSULATED METAL CLAD WALL</li> <li><span style="color: purple;">◆</span> EXTERIOR INSULATED CONCRETE CLAD WALL</li> <li><span style="color: brown;">◆</span> EXTERIOR INSULATED METAL CLAD WALL</li> <li><span style="color: pink;">◆</span> EXTERIOR INSULATED CONCRETE CLAD WALL</li> <li><span style="color: magenta;">◆</span> EXTERIOR INSULATED METAL CLAD WALL</li> <li><span style="color: yellow;">◆</span> EXTERIOR INSULATED CONCRETE CLAD WALL</li> </ul> <p>INTERIOR CONCRETE WALL</p> <ul style="list-style-type: none"> <li><span style="color: red;">◆</span> INTERIOR CONCRETE WALL</li> <li><span style="color: green;">◆</span> INTERIOR METAL CLAD WALL</li> <li><span style="color: blue;">◆</span> INTERIOR INSULATED METAL CLAD WALL</li> <li><span style="color: black;">◆</span> INTERIOR INSULATED CONCRETE CLAD WALL</li> <li><span style="color: orange;">◆</span> INTERIOR INSULATED METAL CLAD WALL</li> <li><span style="color: grey;">◆</span> INTERIOR INSULATED CONCRETE CLAD WALL</li> <li><span style="color: cyan;">◆</span> INTERIOR INSULATED METAL CLAD WALL</li> <li><span style="color: purple;">◆</span> INTERIOR INSULATED CONCRETE CLAD WALL</li> <li><span style="color: brown;">◆</span> INTERIOR INSULATED METAL CLAD WALL</li> <li><span style="color: pink;">◆</span> INTERIOR INSULATED CONCRETE CLAD WALL</li> <li><span style="color: magenta;">◆</span> INTERIOR INSULATED METAL CLAD WALL</li> <li><span style="color: yellow;">◆</span> INTERIOR INSULATED CONCRETE CLAD WALL</li> <li><span style="color: black;">◆</span> INTERIOR INSULATED CONCRETE CLAD WALL</li> <li><span style="color: green;">◆</span> INTERIOR INSULATED METAL CLAD WALL</li> <li><span style="color: red;">◆</span> INTERIOR INSULATED CONCRETE CLAD WALL</li> <li><span style="color: orange;">◆</span> INTERIOR INSULATED METAL CLAD WALL</li> <li><span style="color: grey;">◆</span> INTERIOR INSULATED CONCRETE CLAD WALL</li> <li><span style="color: cyan;">◆</span> INTERIOR INSULATED METAL CLAD WALL</li> <li><span style="color: purple;">◆</span> INTERIOR INSULATED CONCRETE CLAD WALL</li> <li><span style="color: brown;">◆</span> INTERIOR INSULATED METAL CLAD WALL</li> <li><span style="color: pink;">◆</span> INTERIOR INSULATED CONCRETE CLAD WALL</li> <li><span style="color: magenta;">◆</span> INTERIOR INSULATED METAL CLAD WALL</li> <li><span style="color: yellow;">◆</span> INTERIOR INSULATED CONCRETE CLAD WALL</li> </ul>	<p>EIGHTH LEVEL FLOOR PLAN [SCALE 1/8" = 1'-0"]</p>	<p>1</p>	<p>DATE DRAWN 12/10/97 DRAWING NO. A-1-80 PAGES 1 OF 1 SHEET NO. 1 OF 1 SCALE 1/8" = 1'-0"</p>



A-1-04



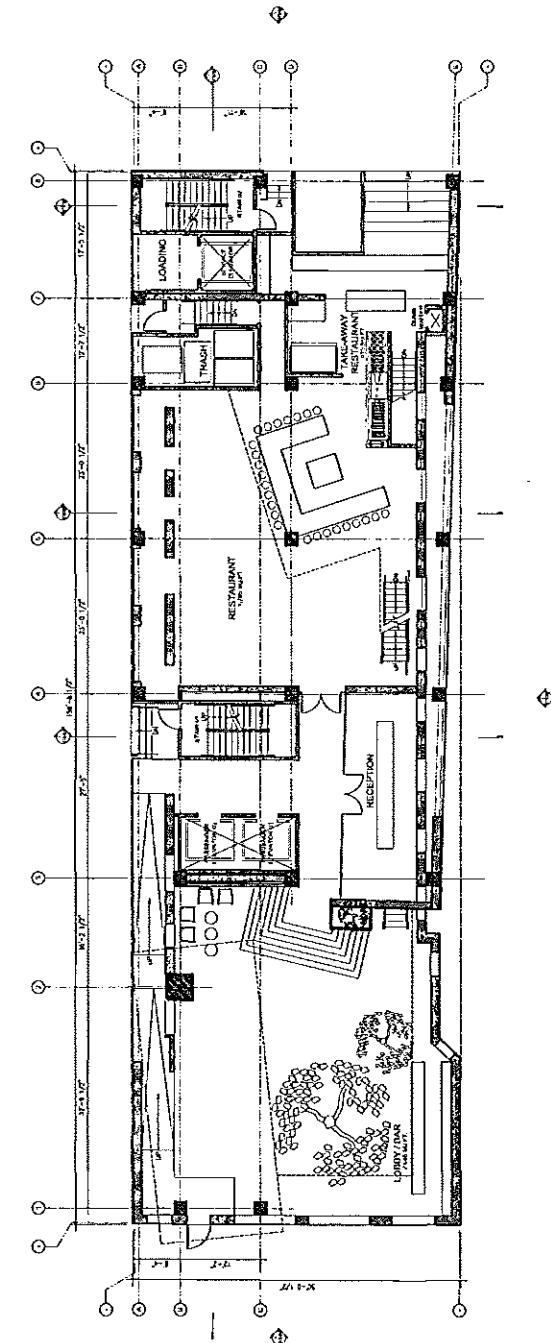
<b>FOURTH - SIXTH LEVEL FLOOR PLAN SCALE</b> $\frac{1}{16} = 1'$	<b>CONSTRUCTION NOTES:</b>  G
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SYMBOLS	
WALL LEGEND	
 <b>WALL THICKNESS:</b> Thick wall thickness. Thin wall thickness.	
 <b>INSULATION:</b> Thick insulation thickness. Thin insulation thickness.	

INVESTMENT # 1130		PROJECTS 1130 HOPE STREET LOS ANGELES, CA 90013		morscholl projects	
INVESTMENT # 1130	PROJECTS 1130 HOPE STREET LOS ANGELES, CA 90013				
INVESTMENT # 1130	PROJECTS 1130 HOPE STREET LOS ANGELES, CA 90013				
<p style="text-align: right;">STL INDEX (REF 30.000)</p>	BUILDING DRAFT NOTES CONT.	WALL LEGEND	SIMBOLS:	CONSTRUCTION NOTES	1

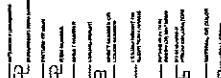
A-1-03





GROUND LEVEL FLOOR PLAN SCALE 1'0" = 1'-0"

SYMBOLS:



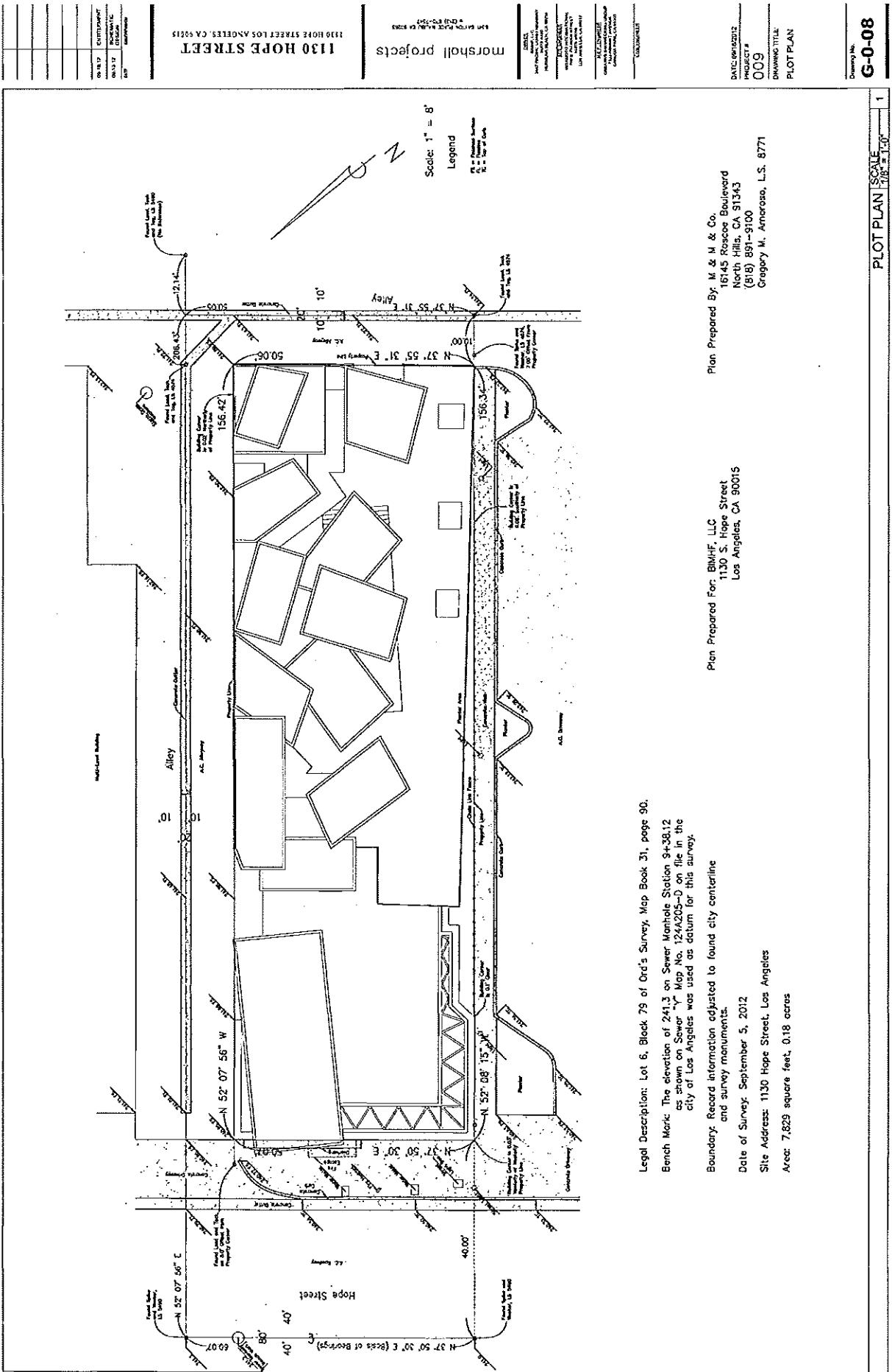
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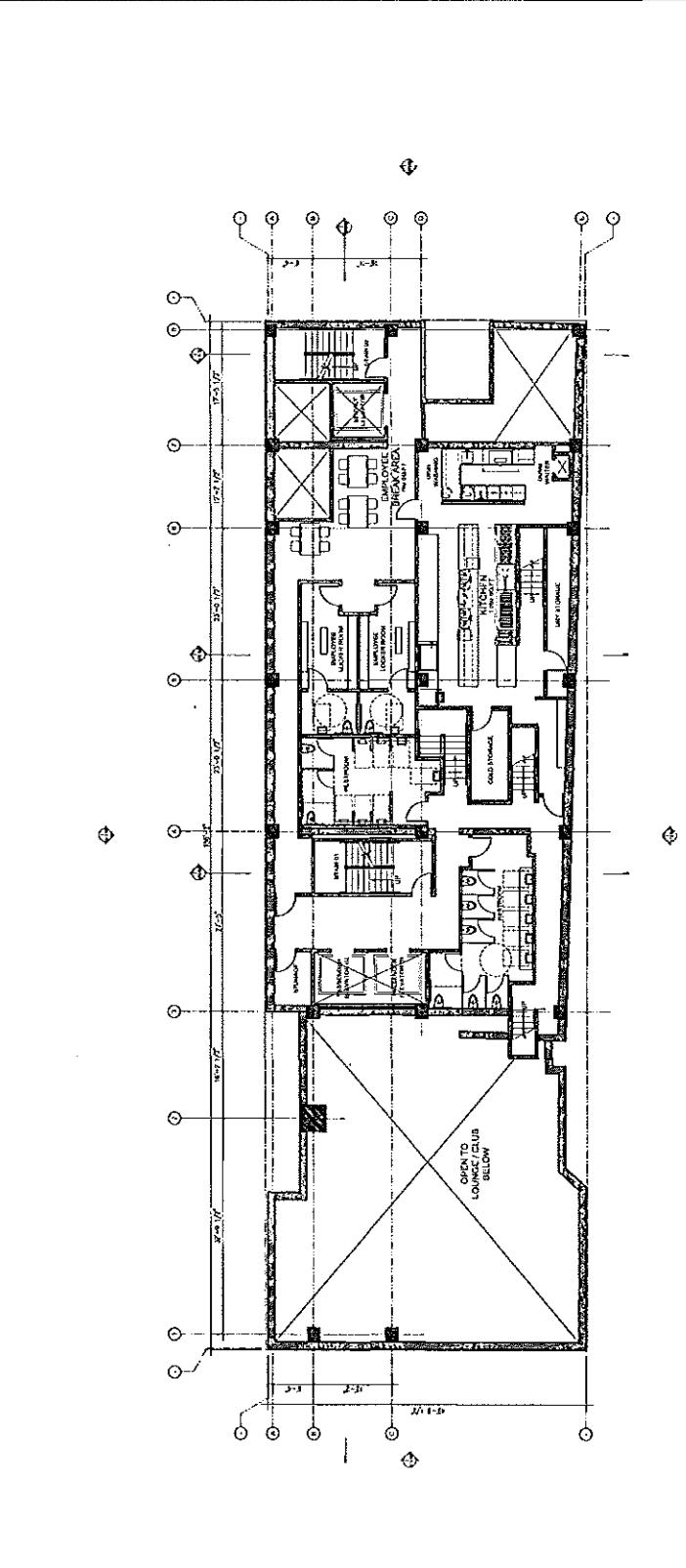
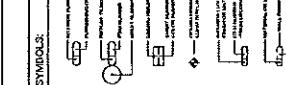
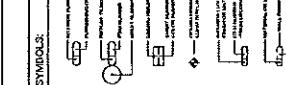
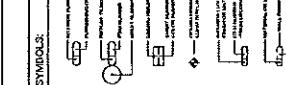
CONSTRUCTION NOTES:

1. HOLD VARIOUS ELEVATIONS WITHIN THE STRUCTURE.
2. ALL EXPOSED CHIMNEYS ARE TO FLOOR LINE OR UNFINISHED.
3. OTHER WOOD COULD BE GLULAM OR CEDAR.
4. REFER TO DRAWING #002 FOR DETAILS OF PARTITION TYPES.
5. ALL WALLS ARE GROUT-FILLED CMU OR CONCRETE BLOCK.
6. REINFORCED CONCRETE FOUNDATION, SHOT BLASTED, REFLECTIVE ALUMINUM FOIL INSULATION, THICK STAINLESS STEEL TOPPING, ONE INCH OF LIQUID MEMBRANE, AND FIBERGLASS INSULATION.
7. PROVIDE EXTRA SPACE AS REQUIRED TO ALLOW ELECTRICAL, PLUMBING, MECHANICAL, AND SUPPORTING SYSTEMS.
8. DO NOT DRILL INTO CONCRETE, BRICK, OR STONE.
9. PROVIDE SOUND INSULATION IN ALL ATTACHED WALLS AS WELL AS IN ATTACHED ROOFS. INCLUDES DAY BEDROOMS AND DEDICATED ROOM.
10. ENTRYS / MAIN LEVEL A-01

BUILDING DEPT. NOTES: CONT.

1. Certified, sealed, and delivered by original authorizer 2. Approved by authority having jurisdiction 3. Drawings, plans, and related information shall be submitted to the City of San Diego, Building and Safety Division, 625 Chestnut Street, San Diego, CA 92101 4. Any new work is to be submitted to the City of San Diego 5. All drawings must be submitted in ink only 6. No changes shall be made to the drawings after they have been submitted to the City of San Diego 7. Any changes made to the drawings must be submitted to the City of San Diego 8. The Building Department will not accept any drawings that have been altered 9. In the event that any alterations are made to the original drawings, the original drawings must be resubmitted to the City of San Diego 10. Any alterations to the original drawings must be submitted to the City of San Diego	1. DATE OF DRAWING (07/06/2012) 2. PROJECT # (001) 3. DRAWING TITLE (GROUND LEVEL FLOOR PLAN) 4. DRAWING NUMBER (001) 5. DRAWING DATE (07/06/2012)
A-01	CONT.



<p>1130 HOPE STREET LOS ANGELES, CA 90015 morschill projects</p>	<p>1130 HOPE STREET LOS ANGELES, CA 90015 morschill projects</p>	<p>1130 HOPE STREET LOS ANGELES, CA 90015 morschill projects</p>								
 <p>The floor plan illustrates the layout of the lower level. Key features include:</p> <ul style="list-style-type: none"> <li>A large central area labeled "DINING / BREAKFAST ROOM".</li> <li>A "COLD ROOM" located near the kitchen.</li> <li>A "WINE CELLAR" and "STORAGE" area.</li> <li>A "GARAGE" with a "TWO CAR GARAGE" dimension.</li> <li>A "CLOSET TO LOWER LEVEL" indicated by a diagonal line.</li> <li>Dimensions for rooms and overall sections, such as 22'-0" x 32'-0", 12'-0" x 22'-0", and 12'-0" x 22'-0".</li> <li>Multiple sets of exterior doors and windows.</li> </ul>	<p>LOWER LEVEL 1 FLOOR PLAN SCALE 1" = 10'</p> <table border="1"> <thead> <tr> <th colspan="2">CONSTRUCTION NOTES:</th> </tr> </thead> <tbody> <tr> <td>1. WALLS: SHEATHED IN OSB, INSULATED WITH FOAM INSULATION. 2. ALL EXTERIOR DOORS ARE TO SWING OUT. ALL INTERIOR DOORS ARE TO SWING IN. 3. REFER TO DRAWING 3 FOR DETAILS OF PARTITION THICKNESS. 4. REFER TO DRAWING 5 FOR DETAILS OF PARTITION THICKNESS. 5. 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DEPARTMENT  
DIVISION  
SECTION  
SUB-DIVISION  
SUB-SUB-DIVISION

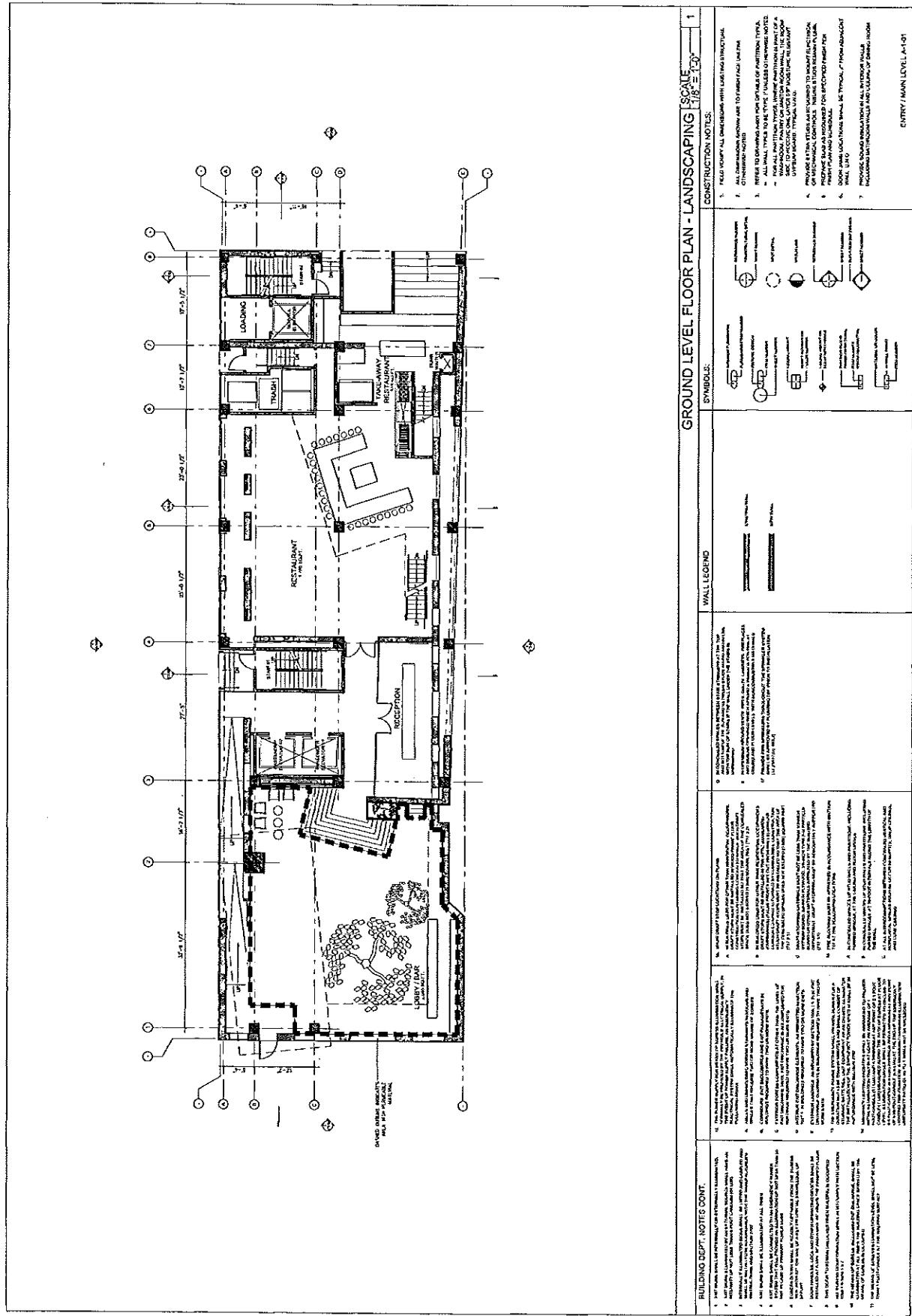
1130 HOPPE STREET

1130 HOPPE STREET LOS ANGELES, CA 90015

morscholl projects

DATE 06/02/02  
PROJECT # 009  
DRAWING TITLE: GROUND LEVEL FLOOR PLAN - LANDSCAPING  
DRAWING NO. L1-01

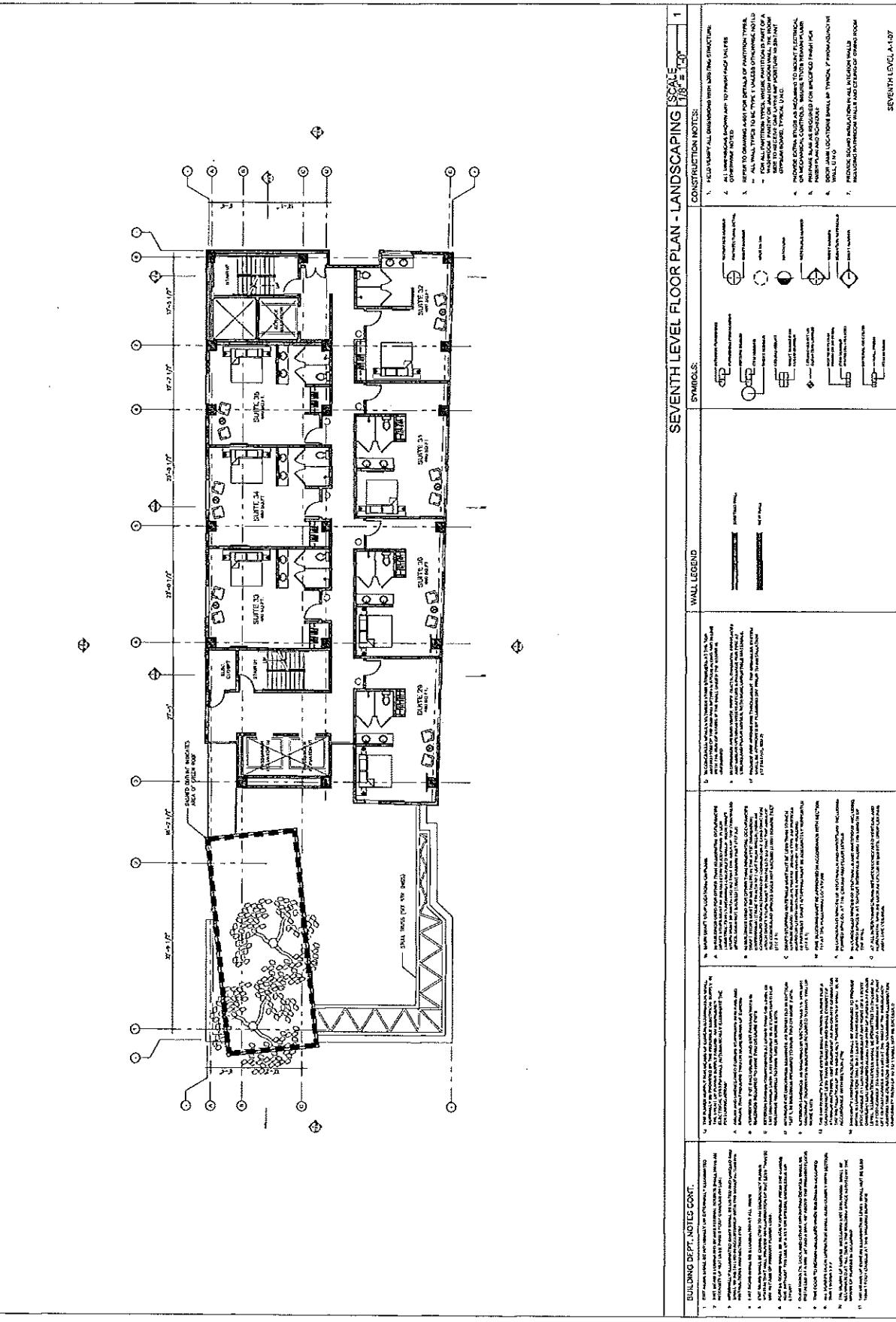
ENTRY / MAIN LEVEL A-01



SITE PLAN
CONSTRUCTION DETAILS
WALLS
FLOOR PLANS
ROOFS

1130 HOPES STREET LOS ANGELES, CA 90013  
SOLAR ENERGY SYSTEMS INC. NO. 204053  
DATE: APRIL 23, 2013

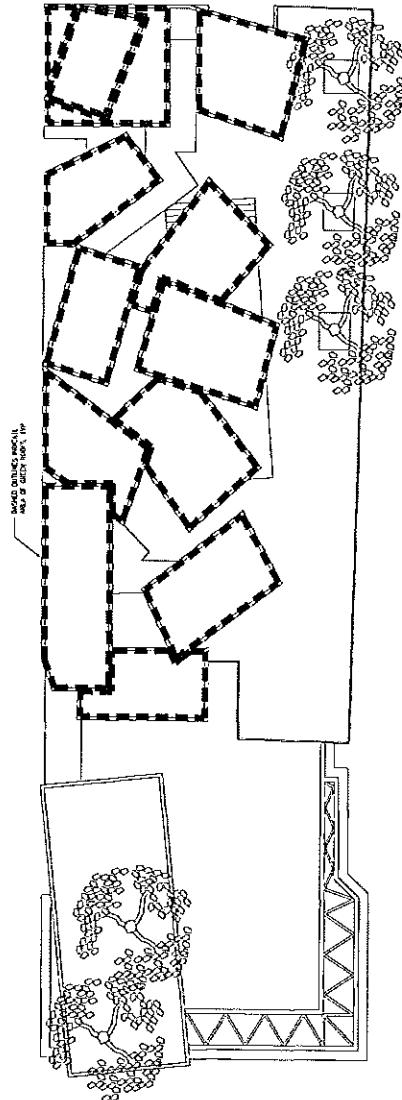
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DR. 14.2  
EPTIC DRAWING  
DR. 35.2  
SUBMISSION  
DRAFTING  
PRINT

1130 HOPE STREET LOS ANGELES, CA 90013  
1130 HOPE STREET LOS ANGELES, CA 90013  
525.350.4234

morscholl projects  
Project # 1130-HS  
Architect: Michael Morscholl  
Landscaping: Morscholl Projects  
Contractor: Gossen & Associates  
Engineering: KPFF Consulting Engineers  
Surveying: Clark & Associates  
Archaeology: CACI  
Photography: DGA  
Permitting: Los Angeles City  
Architectural: Studio 3A  
Interior: Studio 3A  
Lighting: CAA  
Stonework: Landform  
Construction: Gossen & Associates  
Management: Morscholl Projects

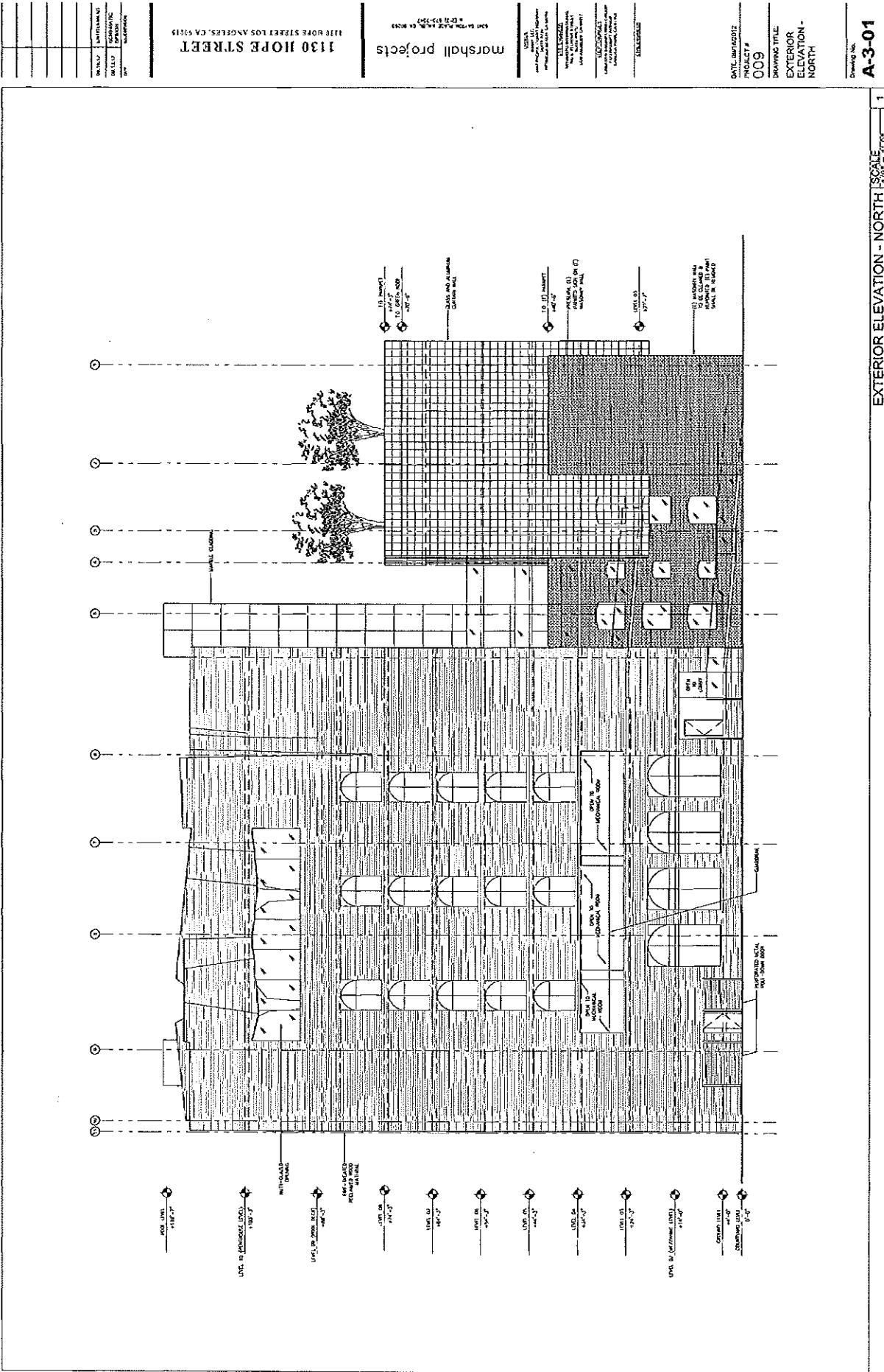


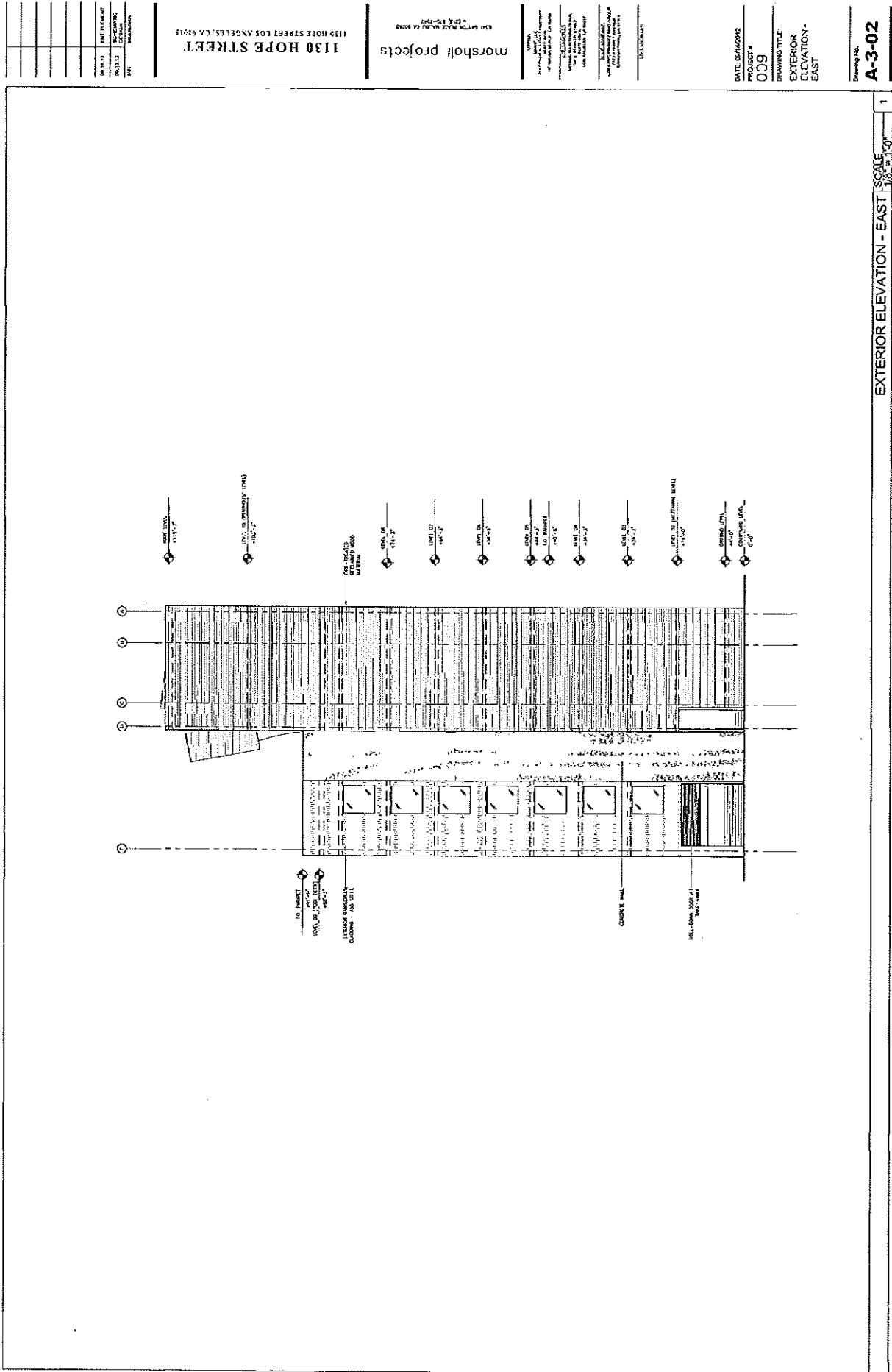
ROOF LEVEL FLOOR PLAN - LANDSCAPING		SCALE 1" = 20'
CONSTRUCTION NOTES:		
WALL LEGEND	SYMBOLS	
<p>WALLS</p> <ul style="list-style-type: none"> <li>GENERAL: All walls indicated by this symbol are to be built with concrete blocks or concrete pavers. It is the responsibility of the contractor to determine if these walls require a foundation. All walls shall be built with a thick top cap.</li> <li>EXTERIOR: All exterior walls indicated by this symbol shall be built with concrete blocks or concrete pavers. All exterior walls shall be built with a thick top cap. All exterior walls shall be built with a thick top cap.</li> <li>INTERIOR: All interior walls indicated by this symbol shall be built with concrete blocks or concrete pavers. All interior walls shall be built with a thick top cap.</li> </ul>	<p>LANDSCAPE SYMBOLS</p> <ul style="list-style-type: none"> <li>FIELD DIRT: All symbols of field dirt are to be filled with topsoil. Topsoil is to be delivered in bags or truckloads to be spread by the landscaper.</li> <li>SOIL: All symbols of soil are to be filled with topsoil. Topsoil is to be delivered in bags or truckloads to be spread by the landscaper.</li> <li>GRAVEL: All symbols of gravel are to be filled with gravel. Gravel is to be delivered in bags or truckloads to be spread by the landscaper.</li> <li>ROCK: All symbols of rock are to be filled with rock. Rock is to be delivered in bags or truckloads to be spread by the landscaper.</li> <li>PLANT: All symbols of plants are to be planted in the ground. Plants are to be delivered in bags or truckloads to be planted by the landscaper.</li> <li>SHRUB: All symbols of shrubs are to be planted in the ground. Shrubs are to be delivered in bags or truckloads to be planted by the landscaper.</li> <li>TREE: All symbols of trees are to be planted in the ground. Trees are to be delivered in bags or truckloads to be planted by the landscaper.</li> <li>PLANT BED: All symbols of plant beds are to be filled with topsoil. Topsoil is to be delivered in bags or truckloads to be spread by the landscaper.</li> <li>SHRUB BED: All symbols of shrub beds are to be filled with topsoil. Topsoil is to be delivered in bags or truckloads to be spread by the landscaper.</li> <li>TREE BED: All symbols of tree beds are to be filled with topsoil. Topsoil is to be delivered in bags or truckloads to be spread by the landscaper.</li> <li>GROVE: All symbols of groves are to be filled with topsoil. Topsoil is to be delivered in bags or truckloads to be spread by the landscaper.</li> <li>MULCH: All symbols of mulch are to be applied to the surface. Mulch is to be delivered in bags or truckloads to be applied by the landscaper.</li> <li>SOFTSCAPE: All symbols of softscapes are to be applied to the surface. Softscape is to be delivered in bags or truckloads to be applied by the landscaper.</li> </ul>	

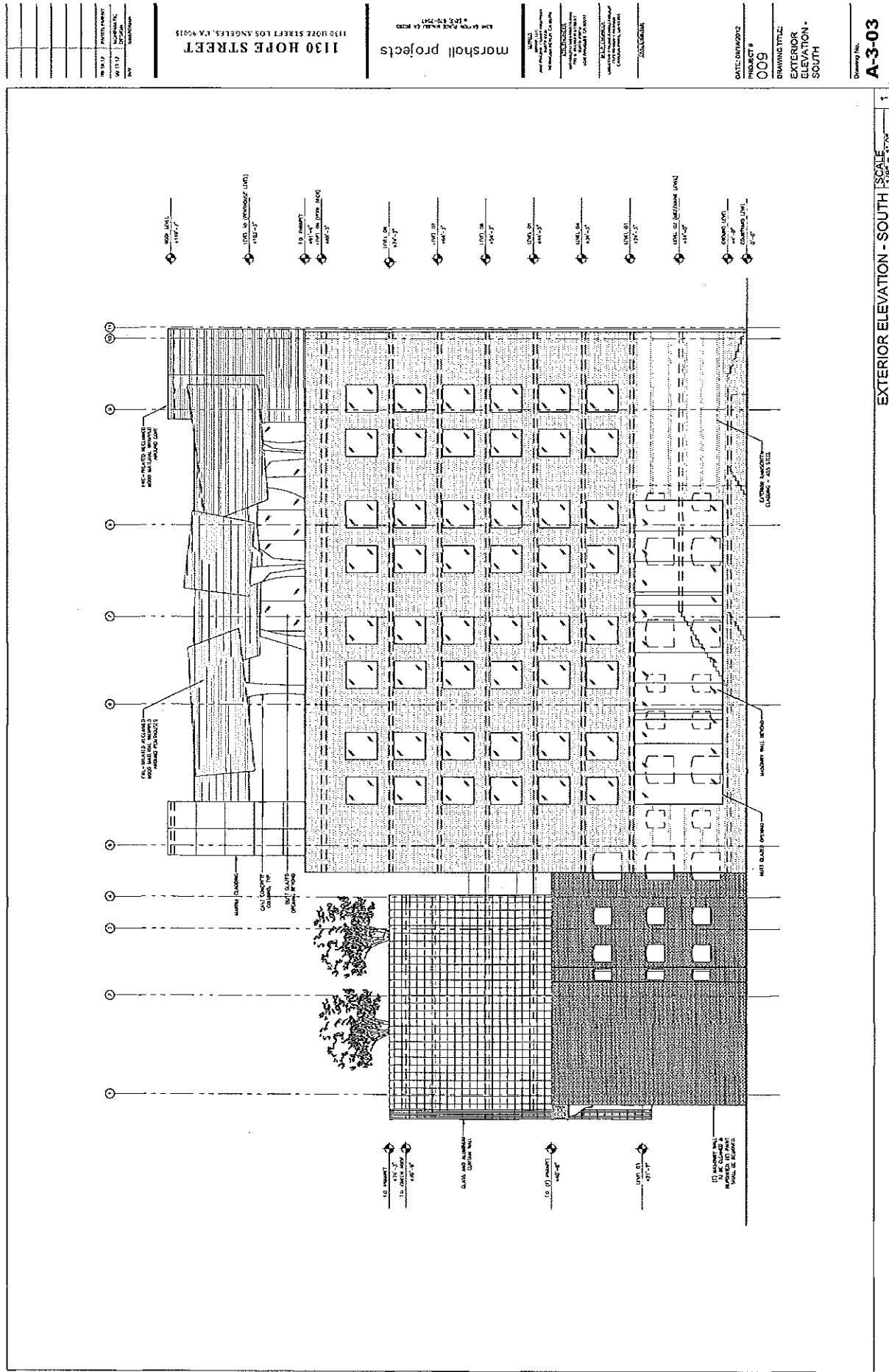
BUILDING DEPT. NOTES CONT.
Use dimensions of approximately as indicated.
1. General notes apply to all building plans and drawings.
2. Construction shall be in accordance with applicable local codes. Any deviation from standard practices must be approved by the city engineer.
3. Existing trees are to be preserved at all times.
4. Exterior walls are to be rendered with stucco.
5. All exterior walls are to be built with a thick top cap.
6. All interior walls are to be built with a thick top cap.
7. All exterior walls shall be built with a thick top cap.
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20. All interior walls shall be built with a thick top cap.

ROOM A-111

L-1-11







EXTERIOR ELEVATION - SOUTH [SCALE: 1/8" = 1'-0"]

A-3-03

